

Bryan Park Soccer Complex Master Plan

City of Greensboro Parks and Recreation | 2025





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1.0 Introduction

Project Overview

The City of Greensboro manages over 120 facilities, including more than 85 neighborhood parks, 12 Community Parks with Community Recreation Centers and two active adult centers, and 24 athletic facilities throughout the City. Each of these facilities has its own identity and serves as a neighborhood hub while providing a variety of safe, family-oriented recreational opportunities. Often neighborhood parks also serve as locations for community-wide events, such as holiday picnics, Neighborhood Night Out, etc. Park amenities generally include a playground, active recreation opportunities (tennis, basketball, etc.) and open space for quiet or passive activities. Parking lots, restroom facilities and picnic shelters are typically located at athletic facilities and regional parks that provide a larger variety of recreation activities, more amenities and full-time staff.

The Truist Soccer Complex at Bryan Park is a unique facility owned by the City of Greensboro and operated by NC Fusion. The soccer complex serves local recreational teams on a daily basis and hosts regional and national soccer tournaments approximately 12-15 weekends a year. Several trails and a regional trailhead are co-located within the soccer complex while a residential subdivision and the Bryan Park Golf Course can be accessed by adjoining roadways bringing a variety of users to the park.

In 2019, the Greensboro City Council adopted the Greensboro Parks and Recreation Master plan, Plan2Play. Based on the 10 big ideas for “Enhance, Expand and Connect”, the Bryan Park Soccer Complex is highlighted in each priority area from investment in the existing infrastructure, strengthening partnerships through the City and Parks and Recreation Department





Figure 1 - Bird's-eye view of Bryan Park today.



(P&R) and connecting people and visitors with specific destinations in the community. The growth and expansion of the programming has positioned Bryan Park Soccer Complex for future demonstrated growth like the field lighting enhancements and field conversions to turf.

In 2023, the Greensboro City Council adopted seven strategic priorities that include Safest City, Most Skilled Workforces, Youth Sports Capital, Easiest Place to do Business, Most Connected City, Entertainment and Recreation Hub and Affordable Housing. Also in 2023, the Greensboro City Council committed \$5.9 million to Bryan Park to invest in two of the seven strategic priorities which included Youth Sports Capital and Entertainment and Recreation Hub. The Bryan Park Soccer Complex not only focuses on youth soccer play, but also creates a recreation hub for increased return on investment for tournaments and spending by attendees.

The City of Greensboro Parks and Recreation Department (P&R) staff has identified an opportunity to significantly enhance the quality of the existing park, soccer complex and outdoor recreation area by adding, replacing and upgrading infrastructure to be able to provide high priority recreation services and support services. The master plan will provide the community, P&R and the City of Greensboro a planning document to determine the best allocation of funds based on stakeholder input, including balancing the priorities of local recreational sports and tournament sports needs.

This master plan is limited to the existing property boundary. Future property acquisition could impact the priorities and elements associated with this plan.



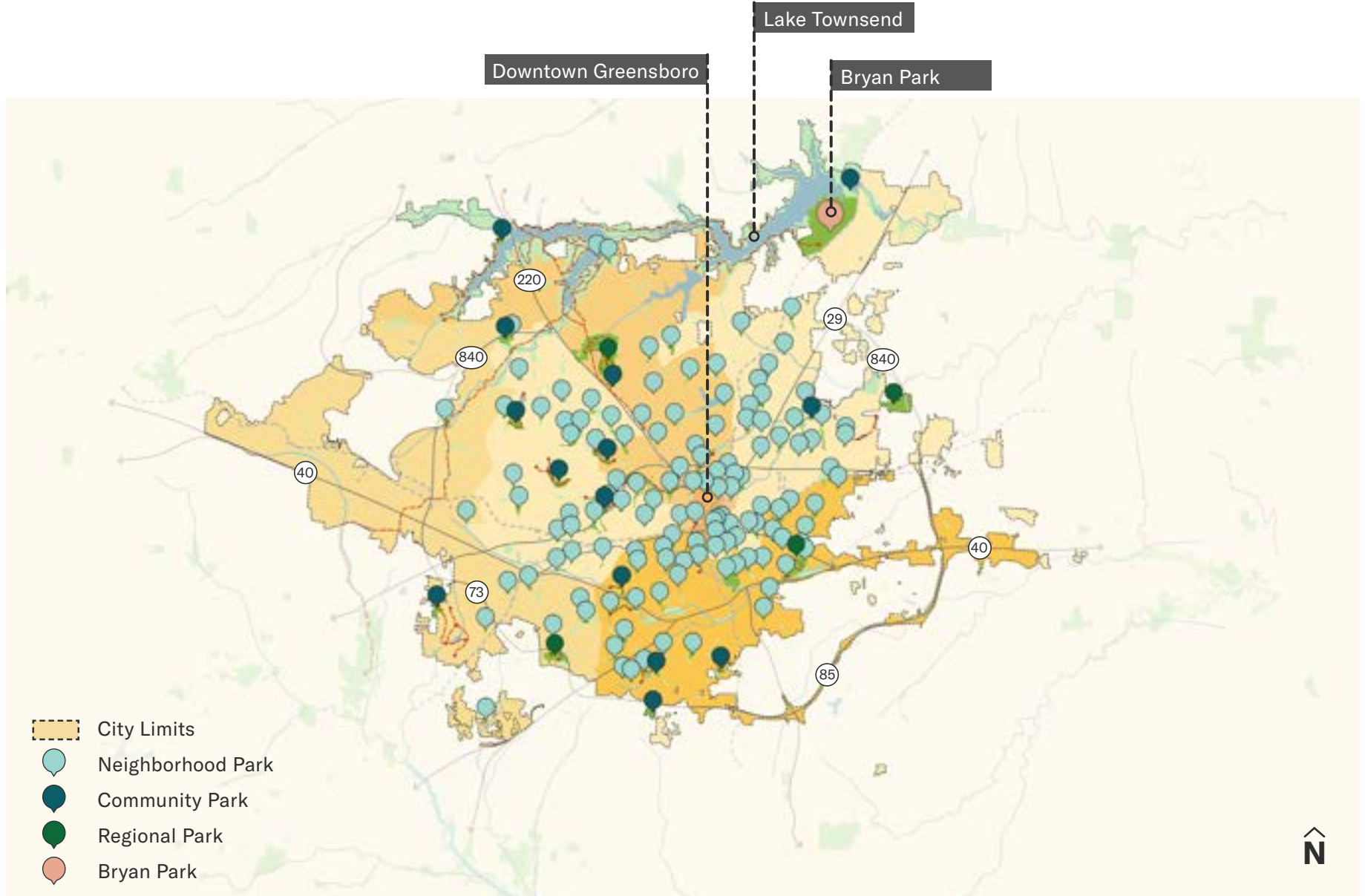


Figure 2 - Location map of Bryan Park within the City of Greensboro, NC.



2.0 Site Context



Figure 3 - Park entry, looking North.



Figure 4 - Norfolk Southern Railway crossing.

Location

Bryan Park Soccer Complex is located at 6105 Townsend Road (alternately addressed as 6105 Southshore Road) within the City’s larger Bryan Park Complex at the far northeast of the city on the shores of Lake Townsend. The 1,550 acre Bryan Park complex incorporates two 18-hole championship golf courses, facility rentals, picnic shelters, playgrounds, passive recreation, enrichment center, tennis courts and the soccer facility. The Truist Soccer Complex includes 21 soccer fields with stadium and office facilities on three parcels totaling 168 acres.

The site is accessed by Rudd Station Road or Lees Chapel Road and has nearby access to Highway 29 and Interstate 840, providing easy access to surrounding communities, counties and the state of Virginia. The newly opened I-840 has provided better access to hotels and restaurants within close proximity to the complex that is beneficial for tournament

viability. Townsend Rd. adjoins the site while Southshore Rd. bisects the soccer complex. The Norfolk Southern Railway right-of-way parallels Lees Chapel Rd. with an at grade railroad crossing at the entrance to the soccer complex, adding complexity to current and future access to the site. Bryan Park is not currently served by public transportation.

According to the most recent Placer data provided by the City of Greensboro, between December 1, 2023 and November 30, 2024 there were over 500,000 visits from 142,000 unique visitors at Bryan Park Soccer Complex. Each visit averages approximately 1 hour. The median age for visitors is 37.8 years and household size averages 2.55 persons. The complex is most heavily utilized on Saturdays. Spring and Fall see the most daily use with tournament visit peaks of over 10,000 daily visits occurring 5 times (late February-late August). The most cited visitor departure and destination point is “home.”





Figure 5 - Bryan Park parking lot and field numbers.



3.0 Site Analysis

Existing Site Conditions

The soccer complex includes 21 total soccer fields of which 20 are full sized and one is designed for 9 vs 9 play. Four of the fields are artificial turf (Fields, 2, 3, 7 and 8) and the remaining 17 are Bermuda grass. Eleven fields are lit allowing for extending playing opportunities. The stadium field (Field 1) includes seating for 3,000, a press box, concessions, locker facilities, restrooms, etc. Fields 1-13 are located west of Townsend Rd. with Fields 12 and 13 located north of Fields 1-11. A temporary/mobile restroom facility and parking lot (Parking Lot B) serve Fields 12 and 13.

The one-story Field House is located at the far west of the parking lot (Parking Lot A) serving Fields 1-11. The Field House contains Fusion offices, meeting rooms, medical and concessions areas, viewing deck (overlooking Field 8) and restrooms. The original 1980's brick Field House was expanded in approximately 2012 to provide additional office and meeting space. The expansion is

wood-sided and includes the viewing deck. The block stadium building was constructed in approximately 2003.

Fields 14-21 are located across the stream and are not readily accessible from Fields 1-13. Fields 14-16 are west of Southshore Rd. along the northern portion of the site and are served by a parking area (Parking Lot C), but no other facilities. Fields 17-21 are located east of Southshore Rd. and are served by a parking area (Parking Lot D) and restroom/concession building. This small block building, constructed in approximately 2000, is underutilized. The park maintenance building is also located north of this parking area on the east of Southshore Rd. While not accessible to the general public, this one-story metal building constructed in approximately 2003 is utilized by regional P&R staff, as well as staff who maintain the soccer complex, and is lacking appropriate exterior space for maintenance operations.

The remainder of the site is wooded with rolling terrain. There are several streams and stormwater control

measures throughout the site serving various areas of development. In addition to being bisected north-south by Southshore Rd. and the primary stream, the complex is also bisected east-west by high-power electric transmission lines. Small pockets for expansion exist adjacent to the various fields, but the primary undeveloped land is located north and east of the maintenance facility. This undeveloped land is also wooded and moderately to steeply sloped.

The fields are only available for official programmed use. Townsend Rd. serving Fields 1-13 is gated to control traffic flow when the facility is closed. Parking Lots C & D are gated, but Parking Lot C is open during daytime hours to allow for access to the Mountains to Sea Trailhead. In addition to the trails connecting the various fields, a ½ mile walking trail encircles Fields 14-16. When the gates are closed, the fields are not accessible to the public. However, the trailhead access for Mountains to Sea does leave the unfenced Fields 14-16 open for unauthorized use.





Figure 6 - The Field House.



Figure 8 - Restroom/Concessions.



Figure 7 - Field 1 and the stadium bleachers.

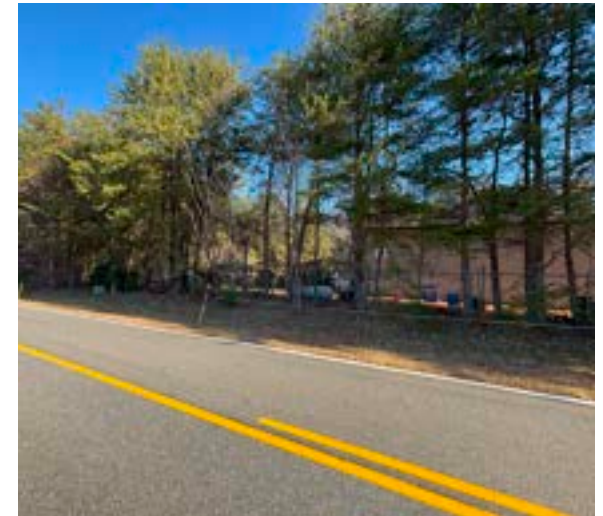


Figure 9 - The Maintenance Building.





Figure 10 - Bird's-eye view of parking lot A, the Field House, and surrounding fields.



Figure 11 - Temporary mobile restroom facility.

Vehicular Access

The soccer complex is only accessible through the intersection of Townsend Rd., Southshore Rd. and Rudd Station Rd. The Norfolk Southern Railway right-of-way parallels Lees Chapel Rd. with an at grade railroad crossing at the entrance to the soccer complex, adding complexity to current and future access to the site. The site does not have access to any roadways to the south or west.

Townsend Rd. is a private road with a 25 mph speed limit. The western limit of Townsend Rd. dead ends at Parking Lot B. Parking Lot C is also accessed via the western length of Townsend Rd. which is gated at the intersection of Townsend Rd., Southshore Rd. and Rudd Station Rd. Townsend Rd. continues west from the intersection adjacent to Fields 17-21, but does not provide vehicular access to parking areas.

Southshore Rd. is classified as a residential road with a 35 mph



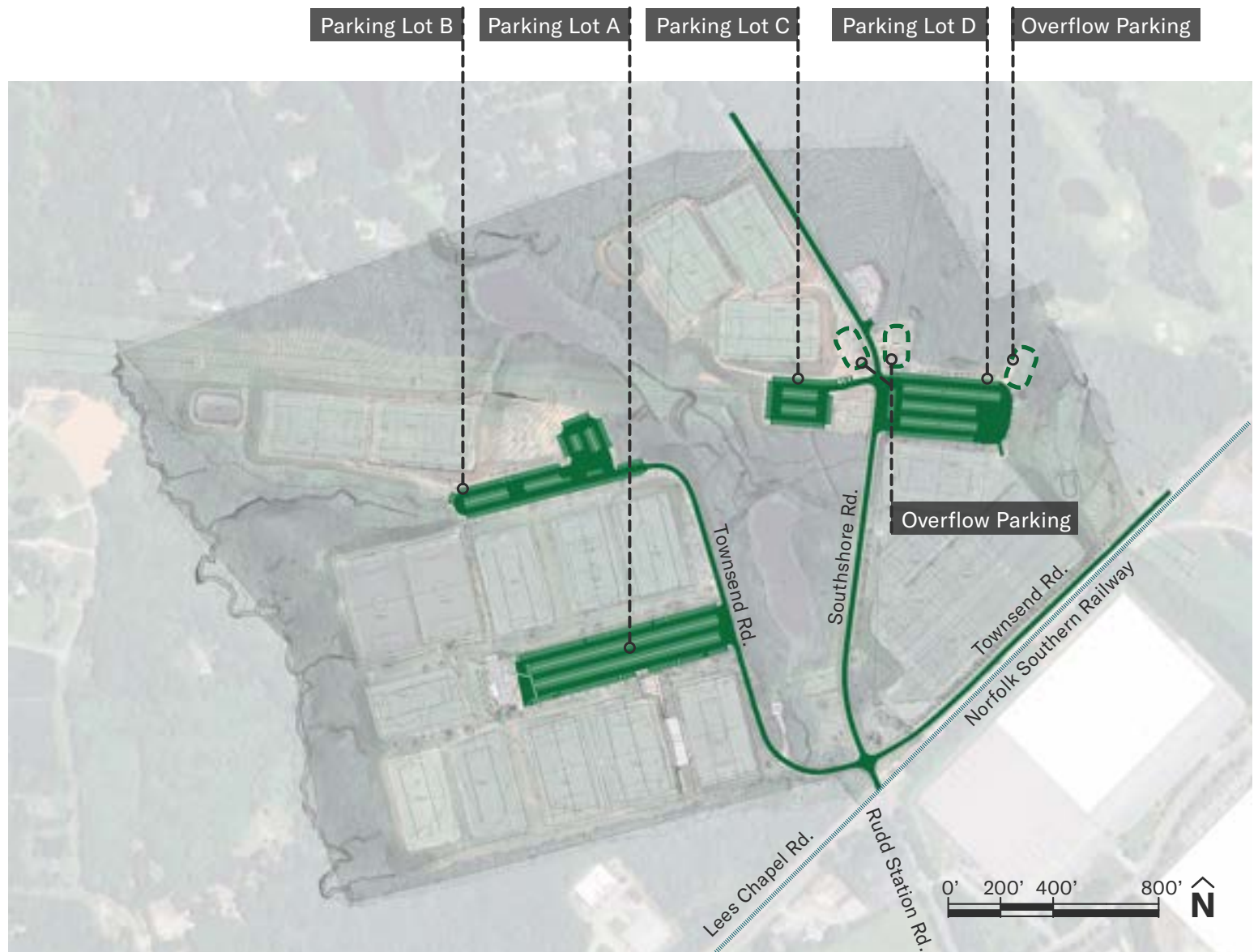


Figure 12 - Existing parking and vehicular circulation routes within the park.



speed limit and is under NCDOT's jurisdiction. Driveway cuts to parking lots C and D and the maintenance area are located on Southshore Rd. Additional driveway cuts to Southshore Rd. should be permissible, but must meet NCDOT's vertical and horizontal sight distance requirements. Southshore Rd. continues through the soccer complex and provides the only access to the adjacent residential subdivision.

Parking

Parking spaces are estimated at 1,900 with approximately 1,400 paved spaces and the remainder grass/gravel overflow. Required parking for outdoor recreational uses is set by the Planning Director, so any expansion of seating, buildings or fields should include coordination with the Planning Director to confirm the code required parking count for the soccer complex and Bryan Park as a whole.

There is no indication that the current parking is inadequate per local code requirements. An accurate parking

space count is necessary to determine the required ADA parking spaces. The first 100 parking spaces require 20 ADA spaces and each additional 100 spaces requires 1 ADA space. At least 1/6 of the ADA spaces should be van accessible. The existing ADA spaces do not appear to meet all current ADA regulations and should be modified as adjacent improvements are constructed.

Parking Lot C's joint use for Fields 14-16 and the Mountains to Sea Trailhead leads to operational challenges. Opening the vehicular gates daily for trail users when the fields are not programmed can lead to unauthorized field use by the general public, creating maintenance and security concerns. Additionally trail users may return to find their vehicles behind closed gates if they do not notice or comply with signage regarding park closure hours. However, not providing parking at the trailhead can create safety concerns if trail users park on the shoulder or cross Southshore Rd. at undesignated locations.

Pedestrian Connectivity

The soccer complex is primarily a drive-to destination. There are no pedestrian sidewalks entering the complex from either Townsend Road or Southshore Road. Visitors typically park in a lot proximate to their game and walk to their game field. It should be noted that there are numerous pathways, marked by denuded vegetation and packed soil, throughout the complex that have been made by foot traffic.

Paved pedestrian connectivity within the complex is limited. Parking Lot A, servicing the Field House, MacPherson Stadium, and adjacent fields contains no sidewalks or marked pedestrian routes. The Field House is connected to the parking lot via two small arrival sidewalks. The area around the Field House also has two longer sidewalk spurs that end at Fields 8 and 4. The MacPherson Stadium has a sidewalk that receives visitors from the parking lot and connects them to the bleacher area.



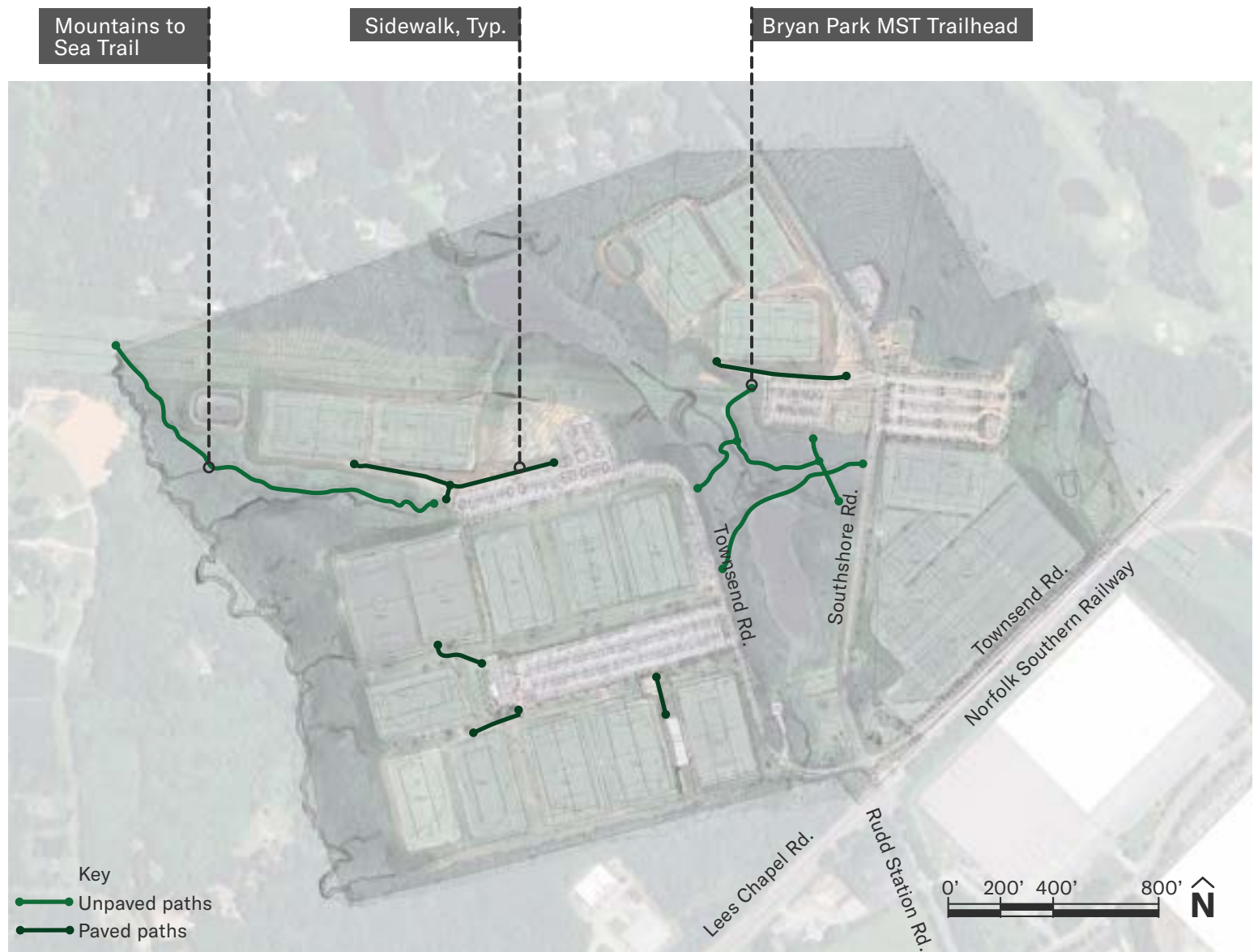


Figure 13 - Existing trails and pedestrian circulation within the park.





Figure 15 - Sidewalk to fields 12 and 13.



Figure 14 - Image of trail connections.

Parking Lot B, servicing Fields 12 and 13, contains a sidewalk on the north side of the lot that connects visitors to the fields via an accessible ramp. Parking Lot C, servicing Fields 14-16, contains a sidewalk on the north side of the lot that directs visitors to the west end of Field 14 via an accessible ramp and a gravel path that connects the parking lot to the south end of Field 16. Parking Lot D, servicing Fields 17-21 does not have a connecting sidewalk to the adjacent fields.

The east and west sides of the complex are connected via a primitive trail through the woods that runs approximately from the north end of Field 11 to Parking Lot C with a painted pedestrian crossing to Parking Lot D. In addition, there is a trailhead for the Mountains to Sea trail, located at the end of Parking Lot C. This trail connects visitors to broader park resources and is used by both patrons of the soccer complex and hikers. This trailhead is designated with a small marker.

Natural Features

The soccer complex is a highly maintained and modified site that has been built specifically to host soccer events. As such, the site's natural topography, hydrology, and vegetation have been significantly altered. Currently, the topography is generally terraced and graded to accommodate soccer fields. The existing site vegetation consists primarily of natural turf fields with scattered subcanopy trees such as crape myrtles. Beyond the soccer complex but still a part of Bryan Park, the adjacent forests consist of an oak-hickory forest. In general, drainage falls to the north through a series of small tributaries and ponds prior to reaching Lake Townsend, part of the larger Cape Fear River Basin.

Existing Utilities

Public water and sanitary sewer is available to serve the site, but does not currently extend to all portions of the site. A public 8" ductile iron (portions cast iron) water pipe is





Figure 16 - Map illustrating the topography of Bryan Park.





located in Southshore Rd. from the Townsend Rd. intersection to the existing maintenance facility. Future development past the maintenance facility will require a public waterline extension. A public 6” ductile iron water pipe is located in the eastern portion of Townsend Rd. while a private 6” ductile iron water pipe is located in the western portion of Townsend Rd. from the Southshore Rd. intersection into Parking Lot A to serve the Field House and stadium. Water does not currently extend to the mobile restroom facility at Parking Lot B.

In 2025, a major City of Greensboro waterline project along Lees Chapel Rd. and Townsend Rd. is scheduled for construction. Although construction will not modify the pipes serving the facility or increase the availability of water to serve the soccer complex, construction in adjoining roadways may temporarily impact operations and vehicular access.

The existing maintenance facility and restroom building at Parking Lot D are

Figure 17 - Fields and adjacent oak-hickory forest.



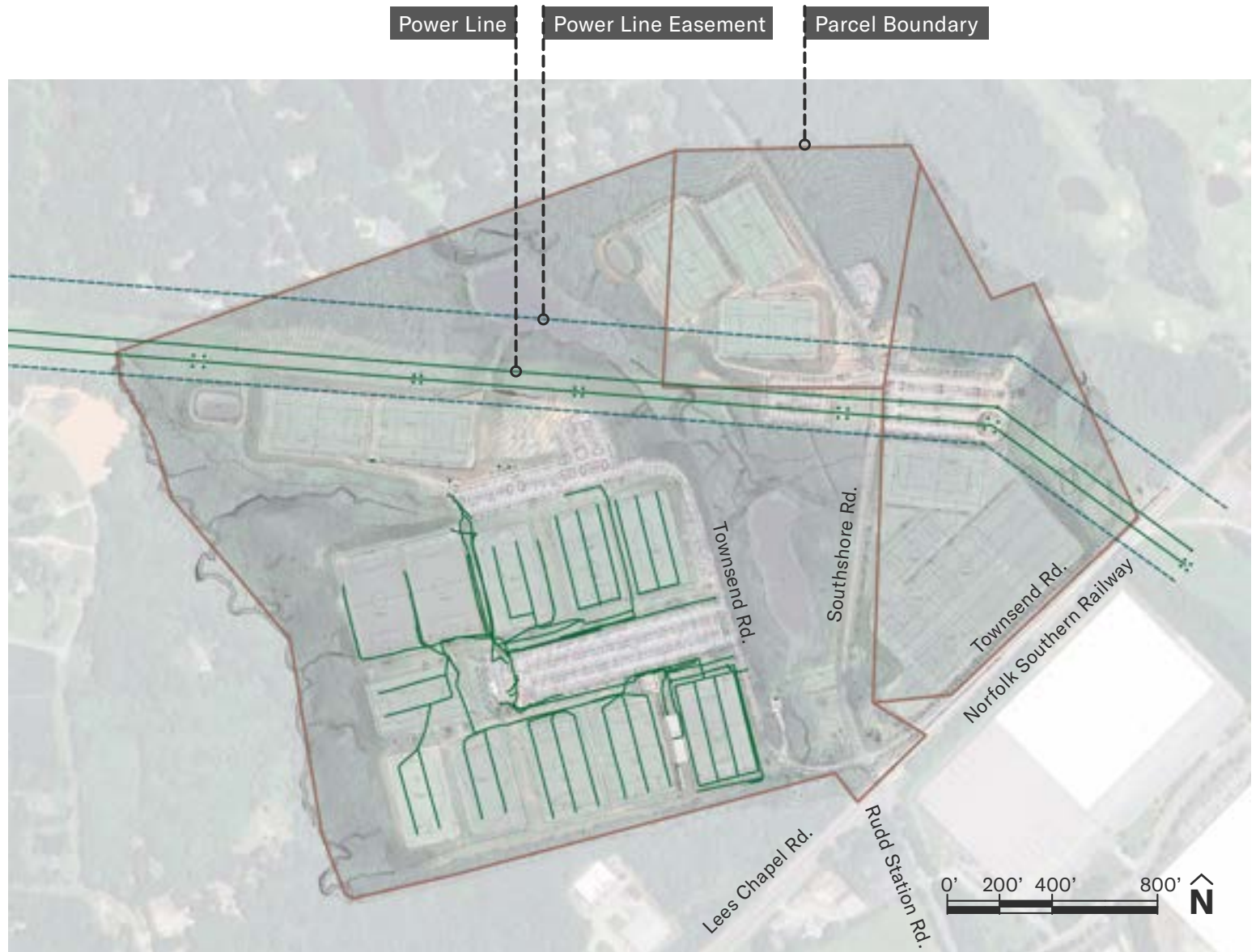


Figure 18 - Map of park boundaries, easements, and existing utilities within the park.



fed by public 8” sanitary sewer pipes of varying material. A public 8” truss pipe in Parking Lot A serves the Field House and associated restrooms while a private 8” sewer pipe of unknown material serves the stadium. All three of these sewer systems drain to a sanitary sewer lift station across Townsend Rd. from Field 1. The lift station pumps sewage to a public 8” ductile iron pipe gravity sewer at the intersection of Rudd Station Rd. and Corporate Park Dr. utilizing a 6” ductile iron pipe force main. Conversations with the City of Greensboro Water Resources Department indicate that the lift station is adequate for current demands, but requires additional study to determine potential improvements required to meet future development needs. Due to topographic constraints, several areas of potential (re) development may require secondary lift stations.

There does not appear to be public storm drainage on site. Drainage is primarily accomplished by open channels and undisturbed

drainageways with roadway culverts. There are storm drainage pipes around the perimeter of approximately half of the fields. The parking lots do not have piped storm drainage systems and the infrastructure and grading between Parking Lot A and the Field House is inadequate creating flooding conditions in normal rain events.

Watershed

The site is located in the Greensboro Water Supply Watershed (WS-III), Watershed Critical Area (WCA). Fields 1, 2 and 17-21 and Parking Lot D are generally located in WCA Tier 4 while the remainder of the soccer complex is in WCA Tier 3. Development in the WCA is subject to additional constraints including drainage provided by open channels, protection of fragile areas (wetlands, steep slopes, etc.), spill risk reduction and containment measures and placement of undisturbed land in undisturbed easements (UDE). At least 20% of Tier 3 land should be placed in an UDE and at least 15% of Tier 4 land should be

placed in an UDE. At least 25% of the UDE should be wooded or reforested. Up to 24% built-upon area (BUA) can be developed in WCA Tier 4 and up to 12% BUA can be developed in WCA Tier 3. All proposed BUA must drain to an approved stormwater control measure (SCM).

Based upon the site constraints, it appears that multiple SCMs will be needed to treat all new BUA. It is anticipated that SCMs may be wet ponds or bioretention cells (planted or grassed) based upon location. The SCMs will require access and maintenance easements. Soil borings in the area of the proposed SCMs should include the determination of seasonal high-water table.

Zoning and Land Use

The three parcels comprising the site are under the City of Greensboro’s jurisdiction and are zoned PNR (Parkland and Natural Resource Areas). According to the City’s Land Development Ordinance: “The PNR,



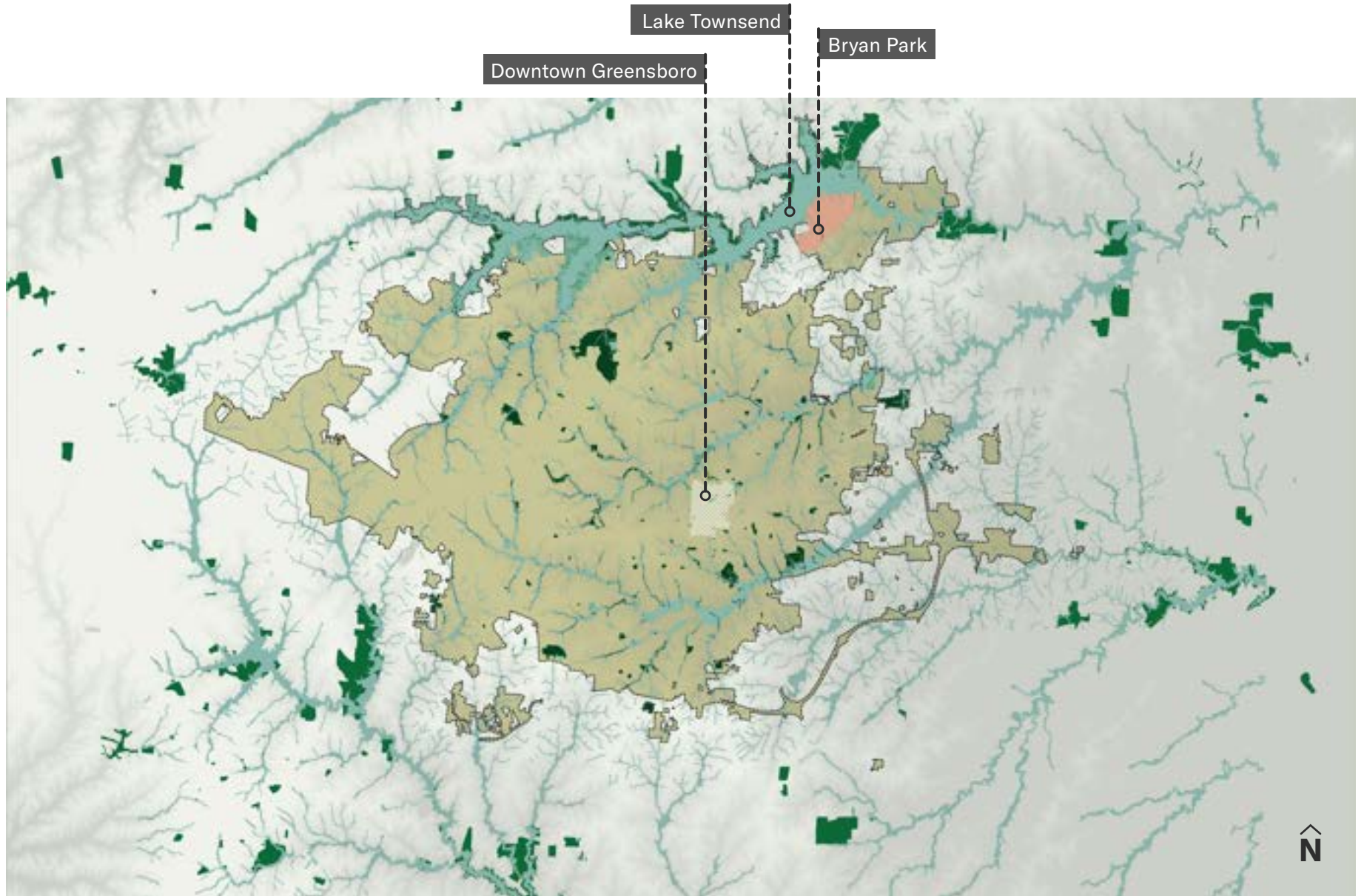


Figure 19 - Map showing the location of Bryan Park within the Lake Townsend watershed.



Parkland and Natural Resource Areas district is intended to accommodate large size (over 10 acres) public and quasi-public lands such as major regional parks and recreation areas, conservation or natural areas, shore land, urban wilderness areas, and waterfront access areas, open space owned by a governmental or nonprofit (or similar) entity for land conservation, and associated ancillary uses such as operational facilities, recreational facilities designed to accommodate intermittent activities (such as ball fields or amphitheaters), and concessions operating under the purview of the Parks and Recreation Department. It is not intended to accommodate outdoor recreation areas that are more commercial and permanent in nature, such as amusement parks or go-kart tracks. Nor is it intended to accommodate smaller neighborhood parks or recreation areas.” Therefore, the ongoing use is appropriate and allowed within the PNR District.

There are no additional special use,

scenic corridors or zoning overlay districts associated with the site. The remainder of Bryan Park is also zoned PNR while the adjoining properties to the south and across Townsend Rd. are zoned HI (Heavy Industrial). Properties to the north and south are zoned AG (Agricultural) and RS-40 (Residential) by Guilford County and are utilized primarily as single family residences on large lots without access to water and sewer. According to Guilford County GIS, there are no documented underground storage tank incidents on or directly adjacent to the site. Although the site can be developed as a single zone lot, a recombination plat may be required if future buildings cannot meet the setback requirements along interior property lines.

Setbacks, Buffers, and Easements

Within PNR zoning, buildings must be set back a minimum of 50’ from street rights-of-way and 35’ from all other property lines. The maximum building height is 50’ and three

stories. Ten-foot wide street planting yards are required along all public streets (Southshore Rd.) Landscape buffer yards are required along all (non-street) property lines that do not adjoin PNR zoning. Landscape setbacks adjoining industrial uses should average 15’, while landscape setbacks adjoining residential uses should average 45’. Trees and shrubs may need to be planted to supplement the existing vegetation within these buffer yards.

The on-site drainageways (unnamed tributaries to Reedy Fork Creek/Lake Townsend) have not been studied by FEMA and are not encumbered by regulated Special Flood Hazard Area or floodway. (See Panels 3710787800J and 3710788800J, effective date 6/18/2007 and preliminary mapping at fris.nc.gov). However, a 50’ buffer measured from top of bank on each side of intermittent and perennial streams and associated lakes/ponds is required per water supply watershed regulations. These buffers have previously been applied to





Figure 20 - Image of Duke Power right-of-way and high tension wires north of fields 12 and 13.



streams between Fields 8 and 13 and between parking lots B and C, although additional tributaries could be impacted with future development. Non-encroachment areas related to floodplain development and drainage, maintenance and utility easements and dedication of drainageway and open space may also be required along drainage corridors. Allowable impacts to streams or stream buffers are limited and would require permits from the US Army Corps of Engineers and NC Division of Environmental Quality. Wetland and stream identification on the entire parcel will be required as a condition of development.

The 2016 development of Fields 7 and 8 by Civil Designs, PA (TRC Plan 2016-1324) includes the provision that approximately 20% of the WCA Tier 3 portion of the site including “slopes greater than 15% lying adjacent and parallel to natural drainageways or streams carrying 17 cubic feet per second or more based upon the 100-year storm event, and wetlands” be placed in an undisturbed easement

(UDE). It does not appear that the UDE (approximately 25 acres) has been platted, so the exact location of the required UDE is unknown and should be further investigated.

The site is encumbered by a 270' Duke Power Right-of-Way (see DB 2528, Pg 941 and PB 132, Pg 47) that runs east-west across parking lots C and D and directly north of Fields 12 and 13. Additional restrictions apply to grading or development within this right-of-way.





4.0 Master Plan

Process

In order to provide a complete analysis of the soccer complex and develop a comprehensive master plan, WSAA (civil engineering) was supported by Revington Reaves (landscape architecture) and Lindsey Architecture throughout the design process. In addition to analyzing the site and existing conditions, the design team reviewed various previous construction plans that were provided by P&R and Facilities staff. An initial small group kickoff meeting to discuss public input, stakeholder identification and preliminary goals was held on April 17, 2023. Multiple meetings were held with the Water Resources Department to discuss the capacity of the existing pump station and the proposed Lees Chapel Feeder Main waterline improvements. With design work occurring on several high priority/ Phase I improvements, the design team worked directly with P&R staff to identify appropriate stakeholders to include in the planning process. Due to the unique operational structure at the soccer complex, stakeholders

included City staff from various departments, Fusion staff and multiple external partners focused on recreational and visitor experiences.

On April 16, 2024 the first stakeholder meeting was held at the field house with 25 attendees including:

- Kobe Riley, Shawna Tillery, Monique Floyd, Baron Edwards, Doug Tanis, Brian Scott, Tony Royal, and Brian Vernon - *City of Greensboro Parks & Recreation Department*
- Jana Stewart and Bashar Qaqish - *City of Greensboro Water Resources Department*
- Austin Homan, Gary Gartner, and Scott Wollaston - *NC Fusion*
- Richard Beard and Demp Bradford - *Greensboro Sports Foundation*
- Kathy Robinson - *NC Youth Soccer Association*

- Roger Morton - *NC Referees Association*
- Henri Fourrier and Brian Ambuehl - *Greensboro Area Convention & Visitors Bureau*
- Robert Nudelman - *Greensboro Parks Foundation/ Greensboro Parks & Recreation Commission*
- Anna Reaves and Mark Reaves - *Revington Reaves*
- Emily Hinton - *Lindsey Architecture*
- Michael Westcott and Tori Small - *Westcott, Small & Associates*

The stakeholder meeting included discussion and multiple hands-on activities designed to identify facility strengths, areas for improvement and overall goals for the master plan. Three overarching goals were identified:



- Improved visitor experience- increased parking, access to restrooms from all fields, access to food options, opportunities for play/diversion
- Increased ability to play- more fields, field improvements (size, material, lights, variety of sports), referee, coaches and tournament staff needs
- Cohesive use- maintenance improvements, regional park users and operations, pedestrian and vehicular connectivity

During discussion, it was noted that the facility has good bones and is still drawing high-level tournaments, but needs to improve to compete with newer facilities across the country. Although additional fields on site would be ideal, the new I-840 allows convenient access to offsite fields that can provide an overall field total that is attractive to regional and national soccer tournaments. I-840 has also increased the number of

high-quality hotels and restaurants within 10-15 minutes' drive from the soccer complex, which is a draw for regional and national tournaments. However, parking can be inadequate, on-site food is limited and fields and amenities (restrooms, medical/athletic training facilities, etc.) are disconnected. The overall visitor experience could be greatly improved by providing diversions for players between games as well as additional activities for family members during long on-site tournament days. Field maintenance and improvements to allow for extended playing time (daily and seasonally) and a variety of sports is imperative. Daily use by local recreational teams and traditional park users must also be considered. Utilizing the feedback from the stakeholder meeting, a preliminary site plan identifying key elements of architecture and connectivity was developed by the design team.

A small group follow-up meeting focusing on the architectural elements of the plan was held on May 22, 2024.



Figure 21 - Image from the stakeholder meeting.



Figure 22 - Image from the stakeholder meeting.





Figure 23 - Image from the stakeholder meeting.

A key development of this gathering was the need for a regional park office with staff offices and public-facing operations. During this meeting, the design team collaborated with city staff to develop footprints for the Field House, stadium with referee spaces, maintenance building and hub facilities. The hubs are intended to include restrooms, concessions, medical/athletic training, and shade/seating and can be placed on multiple locations throughout the complex. The referee spaces were initially placed within the stadium, but upon review it was determined that the footprint was too large. A combined referee, maintenance and regional park office building was considered near Fields 12-14. However, it was determined that this location was too remote for maintenance and regional parks facilities. Therefore, the referee spaces will be combined with an activity hub building and the maintenance and regional parks office will be slated elsewhere within the complex.

Based on staff and stakeholder input, site visits and analysis, the design team developed a preliminary plan consisting of new and renovated buildings, improved fields, additional parking and increased pedestrian connectivity. Adding full size soccer fields at several locations were studied, but topography, soils, infrastructure and property boundaries do not allow the addition of fields within the current boundaries. However, the goals of increased playability, improved visitor experience and cohesive use of the facility can be achieved without the addition of playing fields.

An additional stakeholder meeting to review the draft plan was conducted at the Bryan Park Field House on January 7, 2025. The primary focus of the meeting was to confirm the elements of the master plan and discuss construction priorities. Revisions to the plan including cost estimates and phasing were developed as a result of discussions at the meeting.





4.1 Recommendations

Overview

The master plan incorporates feedback received throughout the planning process from staff and stakeholders. In keeping with the preliminary plan, the master plan includes the addition and renovation of multiple buildings, expansion and renovation of fields, additional parking and increased pedestrian connectivity. The plan has been expanded to include enhanced visitor amenities and infrastructure improvements. Improving physical and recreational access while addressing recreational deficiencies and quality amenities will position the facility for continued tournament growth and success while recognizing the support provided by local/daily recreation users.

The master plan attempts to better utilize the existing spaces, while providing enhanced opportunities for recreation and enjoyment while meeting the needs and desires of local users and visitors alike. Additionally, elements that do not meet Greensboro's current standard

will be refurbished or replaced with more current elements. While many elements within the plan should be considered long-term improvements, implementation of some field and lighting improvements is already in process. With financial support from the Joseph M. Bryan Foundation, the City of Greensboro was able to begin design updates for fields and electrical improvements in 2023.

Sports Field Updates

Fields 2 and 3 are currently being converted from sod to AstroTurf, doubling the number of turf fields at the complex and increasing year-round playability. The fields are being enlarged and will include fencing and netting behind all four goals and along the sideline towards Field 4. The field surface will be upgraded to AstroTurf's Decade Plus woven product and will be installed with a shockpad. In order to provide future opportunities beyond soccer, sleeves will be installed for future rugby goals and netting is sized for lacrosse balls. These additional

turf fields are anticipated to be playable in early 2025.

Future field improvements to consider vary depending on the location and current size. Due to topography, soil conditions, environmental regulations and property constraints (parking, easements, verbal agreements with adjoining property owners, etc.), additional full size fields cannot be accommodated on site. Although some fields should be enlarged or re-graded, others may have limited expansion opportunities but require ongoing maintenance. In order to continue maintaining all fields to maximize their usable life, the irrigation system should be renovated and upgraded. A maintenance plan that includes regular, routine, and non-routine maintenance on grass and turf fields should be developed and implemented. The soil stockpile near Field 12 should be fenced with fabric for aesthetics. As field use increases, existing grass fields can be converted to turf to continue to increase playability.





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Site improvements to fields include:

Field 1 - Grade to provide warm up space, install covered team benches

Field 2 - Grade to provide warm up space, install covered spectator bleachers, install covered team benches, install scoreboard

Field 3 - Grade to provide warm up space

Field 4 - Grade to provide warm up space, enlarge field, adjust elevation to be level with Field 5

Field 5 - Grade to provide warm up space, install netting

Field 6 - Enlarge field, grade adjacent areas for goal storage, install fencing and netting

Field 7 - Install fencing and netting, replace turf, upgrade lights

Field 8 - Grade adjacent areas for warm-up space and connectivity to Field 9, replace turf, upgrade lights

Field 9 - Regrade and reseed, grade adjacent areas for warm-up space and connectivity to Field 8, upgrade lights

Field 10 - Enlarge field, adjust elevation to be level with Field 11, install turf, add lights

Field 11 - Grade to provide warm up space, enlarge field, adjust elevation to be level with Field 10, install turf, add lights

Field 12 - Install fencing and netting

Field 14 - Grade adjacent areas for warm-up space

Field 15 - Regrade and reseed, grade adjacent areas for warm-up space

Field 16 - Grade adjacent areas for warm-up space, install fencing and netting

Field 17 - Regrade and reseed, adjust elevation so 17-21 are level

Field 18 - Regrade and reseed, adjust elevation so 17-21 are level

Field 19 - Regrade and reseed, adjust elevation so 17-21 are level

Field 20 - Regrade and reseed, adjust elevation so 17-21 are level

Field 21 - Regrade and reseed, adjust elevation so 17-21 are level





Figure 24 - Master plan improvement areas and field numbers.



Site and Field Lighting

In an effort to further increase playability, new stadium poles and LED lights were installed by Musco at Fields 2-6 in fall 2024 with calibration currently ongoing. New conduit and wiring with the ability to add speakers at all poles in the future was included in the field lighting project. City staff is currently negotiating with Duke Power to upgrade lighting in all parking lots. With the ability to continue playing on 16 of the Fields after dark, site lighting must increase to account for the additional visitors after dark. New LED lights at both fields and parking areas will increase player and visitor safety while diminishing light trespass and adverse impacts on surrounding residential properties. Site lighting improvements are anticipated to be complete in 2025.

Lighting on Fields 7-9 should be upgraded to the current standard and new lighting should be added to Fields 10, 11 and 21. Lights should be LED with the ability to add a connected speaker system. Lighting

should be added to all parking lots serving lighted fields. Electric pedestals should be added at areas that can also be utilized for food truck parking. Although there is not an official memorandum, verbal agreements regarding lighting were made with the surrounding residential property owners. In keeping with these discussions, Fields 14-16 should not have lighting added due to proximity to the neighborhood.

Stormwater Improvements

All new built upon area (BUA), including gravel, must be treated by an approved stormwater control measure (SCM). There are two existing wet ponds on the site that have additional capacity to treat BUA if it is within the drainage area. Some greenways, pedestrian connections, isolated pads, and turf field curbs may be difficult to drain to an SCM since they are dispersed. Any treated BUA that was constructed prior to the ponds can be used to offset the more dispersed or linear infrastructure. Bioretention cells

could also be constructed adjacent to Parking Lot A to treat existing BUA as an offset for other difficult to treat improvements. An SCM can also be constructed adjacent to Parking Lot D. (A master watershed plan should be developed to determine the maximum size of the SCMs and the associated treatment capacity.) A proposed SCM is indicated at the new regional park office/maintenance facility to treat the entire new BUA in this area. Any hazardous material, including gas and diesel fuel, that is stored at the maintenance facility should include secondary spill containment.

Parking and Vehicular Circulation

Parking throughout the site can be expanded or improved. Parking Lot A should be renovated (including subgrade) and restriped to allow for additional pedestrian access along the exterior. ADA parking spaces should be modified to meet current standards including signage, access aisles and striping. Perimeter sidewalks and two





Figure 25 - View of improved pedestrian connectivity between fields, parking, and hubs.



highly visible walking paths through the parking lot will allow for nodes of pedestrian crossing rather than the current lack of identifiable pedestrian areas. A portion of Parking Lot A closest to the Field House will be repaved with a heavy duty concrete, providing an extended pedestrian plaza for tents, foodtrucks, and seating. Installing storm drainage within the parking lot will reduce the overland flow draining to and flooding the grassy area in front of the Field House.

Approximately half of Parking Lot B should be renovated (including subgrade) and restriped. Exterior sidewalks should be added for pedestrian safety. Parking Lot D should be crack-sealed, repaved and restriped with the addition of compliant ADA parking spaces and perimeter sidewalk. Approximately 10 additional parking spaces can be added in conjunction with the proposed hub building at Field 14. A large parking lot with approximately 230 additional parking spaces can be

developed at the far northeast of the site, adjacent to the new regional park office. All parking areas should be gated with automatic gates and lights should be modified to LED.

The regional park office parking lot should be constructed in conjunction with pedestrian improvements/trails that allow safe access across Southshore Rd. and to the various fields. Access across the stream can be provided by a greenway trail and bridge wide enough to allow for golf cart/gator access which would increase the ability for recreation, maintenance and tournament staff and emergency/medical services to quickly reach all portions of the complex. Bridge and greenway construction will require approval and permits by NCDEQ and the UA Army Corps of Engineers. This new parking lot and pedestrian connection will also serve the Mountains to Sea trailhead.

Pedestrian Connectivity and Circulation

Improvements will be made to

pedestrian circulation and connectivity across the entire complex. At Parking Lot A, sidewalks will be added to both the north and south side of the parking lot to help provide a safe route for pedestrians exiting their cars and heading to a field, Field House, or stadium. These sidewalks will be lined with vertical banners to help provide an identifying visual for visitors across the complex. Parking Lot A will also receive two striped pedestrian crossings for a safe means of crossing the lot and alerting drivers to pedestrians.

These two pedestrian crossings in Parking Lot A will transition to paved sidewalks that will connect to a new sidewalk on the south side of Parking Lot B. These sidewalks will help provide safety to visitors moving throughout the complex to other fields or the Field House. Vertical banners will also be used along these sidewalks to provide visual prominence and wayfinding to visitors. These banners may also be used to promote a particular organization, event, or for



advertising. Parking Lot B will also receive painted cross walks to create pedestrian zones within the parking lot. A sidewalk will also connect Parking Lot A to Parking Lot B along the eastern side of the connecting portion of Townsend Road.

The western portion of the complex will also receive several new connective sidewalks to assist in safe and clear pedestrian circulation. Parking Lot D will have new sidewalks on all sides creating a connective loop. This will also help establish safe walking routes to adjacent field areas. In addition, a new sidewalk for pedestrian and golf cart/gator access will extend south paralleling Southshore Road. This access will loop back up to Activity Hub 3 with a paved connection located between fields 21 and 20, 19, and 18.

Parking Lot C will have new sidewalks on the eastern and northern boundary that are connected to the trail connection, Activity Hub 2, a striped pedestrian crossing on Southshore

Road to Fields 17-21, and an additional striped crossing to Maintenance and Park Building. Sidewalks adjacent to Fields 14 and 15 will create a paved loop connecting the three fields, parking and amenities in this area. Sidewalks will be added adjacent to Parking Lot D and throughout the Field 17-21 complex allowing for enhanced pedestrian access and golf cart/gator access for personnel.

A trail connection between Parking Lots B and C will allow for connectivity between various fields. Although primarily intended for pedestrian use, the trail network will be designed to allow golf carts, gators and mowers to move throughout the site facilitating the movement of referees, coaches, staff, medical personnel and maintenance operations. The stream crossing will require a bridge, and a boardwalk is proposed to minimize disturbance to the stream buffer. Since vehicular access to all fields is already provided by Southshore Dr., a second stream crossing with limited disturbance that enhances access

for medical personnel will be more easily permitted through applicable authorities.

In total, these additional sidewalks and pathways will provide clarity, efficiency, safety, and ease of access to visitors.

Plantings

New plantings of native and adapted species are proposed for the complex to help provide shade, comfort, and a human scale to the complex. With the understanding that the field areas of the complex should not be shaded to support field health, new plantings will be focused on the Field House, Activity Hubs, parking lots, and the Maintenance and Park Building. These plantings will consist primarily of raised-canopy shade trees with a ground layer of low shrubs for clear sight lines and safety. Plantings should focus on native species and be specified and located to be in compliance with the City of Greensboro code requirements.



Trails and Wayfinding Signage

In addition to the existing complex entrance sign and field grouping signs, a new series of signs will be added for visitor clarity. These signs will consist of trail marking signs at all entries and tree trail markers along the route. Additional wayfinding signs will be added at the Field House, Activity Hubs, and the Maintenance and Park Building. These wayfinding signs will show a map of the entire complex and locate the visitor's current position.

Building Architecture

Building architecture serves to support the primary function of the outdoor spaces, but is critical to the success of the overall complex.

This master plan allows an opportunity to examine the current function and utilization of the buildings and to propose new or renovated structures that more efficiently align with the current and anticipated future space needs.

In addition to upgrading functional aspects of architectural components, improvements include introducing a consistent palette of materials to unify the buildings across the site. The proposed materials would integrate with the natural surroundings and also lend themselves to durable and easily maintained buildings. These materials include fiber cement panels, natural stone veneer, ground face CMU and exposed wood accents. Striking a balance between practical buildings and design that contributes to the forward-thinking vision for the site is critical.





Figure 26 - View of improved Field House and surrounding landscape updates.



Field House: Architectural Improvements

The Field House in its current configuration does not serve the needs of the complex, particularly during tournament events. The spaces are small and do not offer flexibility of use. During the programming exercise, it was determined that adequate meeting space, “right-sized” office space and a dedicated area for coaches and tournament staff were critical. Perhaps one of the most successful components of the building is the adjacent observation deck, so the proposed design also capitalizes on the opportunity to enhance the view of the surrounding fields while also doubling as a potential rentable event space.

With cost and efficiency in mind, the design includes the removal of only a portion of the existing building. This will be replaced with a two-story addition housing a welcoming and defined entrance, enhanced entry lobby, multi-purpose meeting space,

flexible offices and support areas on the ground floor, and dedicated Fusion offices on the upper floor with access to the second-level observation deck. The remaining portion of the existing building will be slightly reconfigured to continue to provide storage, medical training, and public restrooms. A dedicated coaches lounge and field overlook will also be provided. The floor plan allows for a small concessions area in the building, but as design for this phase of the project is finalized, a detailed evaluation of concessions offerings should be completed to ensure the correct type and size of space is allocated.

Given the building’s location on the strong axis created by the parking lot and proposed promenade, the two-story portion of the building should serve as a termination and beacon. The two-story portion offers branding/signage opportunities and helps to establish the Field House as a prominent component of this portion of the complex.

Field House: Landscape Improvements

The Field House is complemented by a welcoming entry plaza situated along the eastern facade of the building, facing Parking Lot A. This plaza creates a strong visual and physical connection between the parking area, vendor village, and the main building.

The plaza features a variety of seating options and large gathering areas for congregating. On the southwest corner, a climbing tower offers a playful space for children while also serving as a convenient rest area for families during soccer events.

The main entrance is marked by a row of flags providing verticality and visibility. A plant bed at the front of the plaza, dividing the parking and gathering space, will provide attractive plantings while also helping to alleviate existing drainage issues in this location. Additional plantings will provide shade and visual interest for visitors.





Figure 27 - Plan view of future Field House improvements.





Figure 28 - View of play area and seating at the Field House.

The rooftop space of the main building is designed to offer an elevated and comfortable gathering area for spectators to enjoy soccer games. From this vantage point, viewers will have an expansive view of the surrounding soccer fields, particularly Fields 1 through 11, which are positioned proximate to the Field House. The additional viewing platform on

the side of the Field House offers a more direct view of Fields 8 and 9, positioned to provide a more casual perspective of the games. This platform is designed as a terraced wooden deck that integrates into the natural topography of the site. This allows for a smooth transition from the higher elevation down to the lower slope. There are steps situated on

either side and middle of the deck, with seating for spectators across the length of the deck.

At the back of the main building, the distinctive paver pattern continues for continuity, texture, and visual interest. The architecture extends out creating a covered outdoor gathering spot for coaches offering shade and comfort for meetings, discussions, or a brief respite from the games. Picnic tables and provide seating and gathering locations.

The parking area nearest the Field House will be modified to serve as an improved vendor village. Removable bollards will be added to help formally delineate this area and sidewalk renovations will create safe pedestrian connections to this area. The asphalt will be replaced with heavy duty concrete, a portion of which will be integrally colored, extending the patterning and pedestrian experience of the main plaza. This vendor village will include spaces for vendor tents, entertainment, seating, and food truck





Figure 29 - View of covered coaches area behind the Field House.





Figure 30 - View of Field House entry.

parking with electrical hookups. Award ceremonies could take place at two distinct locations within the field house landscape area. The entry plaza will have an elevated platform that could be used for player awards ceremonies while doubling as a seating area during daily use.

For larger and more formal awards ceremonies, the Terraced Viewing Deck creates an ideal location with seating and a photogenic backdrop of the fields.

Field House: Utilities

Water and sanitary sewer services that currently serve the Field House are anticipated to be adequate for renovation/expansion. All back flow preventers should be assumed to be replaced to meet current standards. Cameras should be added to provide additional security.





Vehicle Service Yard

Maintenance and Park Building

Proposed Parking Lot

Field 14

Field 16

Figure 31 - View of future Maintenance and Park building adjacent to the new expanded parking lot.





Figure 32 - View of future Maintenance and Park building.

Maintenance and Park Building: Architectural Improvements

The Maintenance and Park building will serve two distinct purposes, one accessible to the public and one staff only support. The existing park maintenance building is undersized and does not provide adequate outdoor storage space for equipment. The new location will allow for park staff access to the rear of the building with ample exterior storage, interior storage/shop, offices and

locker rooms/staff restrooms. The public facing portion of the building will provide public restrooms and concessions for adjacent fields, and will also house a Parks & Recreation office in anticipation of the designation of Bryan Park as a Regional Park.

Architecturally, the areas available for public access have been wrapped in front of the maintenance portion of the building to allow an opportunity to distinguish the two functions through materiality and scale. Additional

screening of the exterior maintenance area can be provided with landscape buffers, screening, etc.

Maintenance and Park Building: Landscape Improvements

The Maintenance and Park building will primarily support the functions of the larger Bryan Park. Landscape amenities that will benefit the soccer complex include a new large surface parking lot, plantings, and paved pedestrian connectivity to the soccer complex. A proposed stormwater control measure located to the north of the parking area will treat stormwater.

Maintenance and Park Building: Utilities

Water and sanitary sewer do not extend beyond the existing park maintenance facility, but should remain accessible for the new facilities since the building location is similar to the existing facility.





Figure 33 - Bird's eye view of Stadium improvements.



However, the City of Greensboro Water Resources Department may require extension of the 8" waterline along the property frontage as a condition of development. Cameras should be added to provide additional security.

Stadium: Architectural Improvements

The condition of the existing locker room building does not appear to allow for renovation as a cost-effective solution for improvement. The current locker room space is inadequate to serve the full complex and also makes separation between various teams and users difficult. A new building in the same location will include larger locker rooms, public restrooms, a family restroom, a referee area and athletic training. The surrounding grade sloping from the parking lot up to the stadium bleachers allows for the opportunity to add a second level accessed at grade from the stadium bleacher elevation that will house an additional multi-purpose/event rental space and concessions. The floor

plan allows for a small concessions area in the building, but as design for this phase of the project is finalized, a detailed evaluation of concessions offerings should be completed to ensure the correct type and size of space is allocated.

Stadium: Landscape Improvements

Landscape improvements of the Stadium Hub consist of an improved sidewalk connection from the parking lot to the building and beyond to the bleachers. Low plantings will be added to the north side of the building to welcome visitors and complement the architecture. A press box and bleacher seating will be added to the west side of the existing bleacher seating to provide strong views to Field 2. In addition, Field 2 will receive a score board located on the south end of the field.

Stadium: Utilities

Water and sanitary sewer services that currently serve the stadium

are anticipated to be adequate for renovation/expansion of the new Stadium Hub. All back flow preventers should be assumed to be replaced to meet current standards. Cameras should be added to provide additional security.



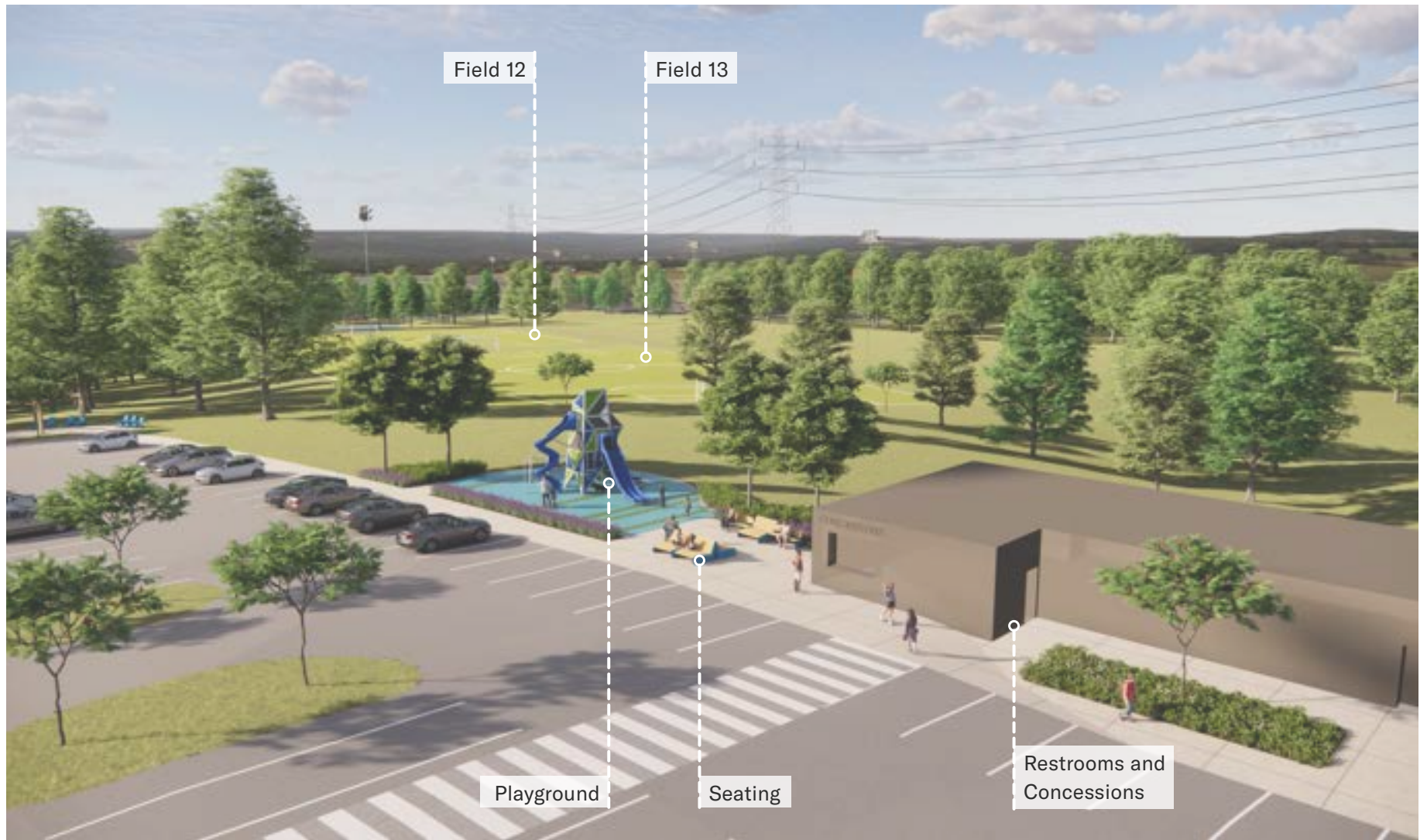


Figure 34 - View of Activity Hub 1.



Activity Hubs

Three new activity hubs will be added to the complex. These hubs will feature a variety of services such as playgrounds, medical care, concessions, storage, restrooms, locker rooms, and referee hospitality spaces.

Activity Hub 1 will be located along the north side of Parking Lot B near Field 13. Activity Hub 2 will be located along the north side of Parking Lot C overlooking Field 14. Activity Hub 3 will be located on the eastern edge of Field 17, proximate to Parking Lot D.

The hub buildings are intended to be repetitive, efficient buildings to create consistency across the remote portions of the site. The design and materials will be simple but aligned with the architectural design aesthetic established for the overall complex.

An extension of the roof line, shade sails, and tree cover will provide a shaded area for picnic tables or other activities. Depending on the

orientation of each hub, the slope of the roof can be adjusted to best provide shade for each unique location.

Activity Hub 1

Activity Hub 1 is located proximate to fields 12 and 13. It is the visual terminus along a new extended pedestrian walkway that connects visitors in a clear way from parking lot A down to parking lot B. This Hub replaces the temporary restroom currently serving this area.

The building for Activity Hub 1 is slightly modified from the standard Hub. The interior program is expanded and the covered picnic shelter is excluded from this structure. The building hosts a referee hospitality center with referee locker rooms and meeting space, concessions, restrooms, storage, and a medical kiosk.

Landscape amenities around Activity Hub 1 include a playground structure over poured-in-place playground

surfacing, freestanding sensory musical play equipment, outdoor seating, and plantings for shade and comfort.

It appears that water, but not sanitary sewer, currently serves the mobile restroom facility at Field 12. The waterline size is unknown, but is anticipated to be replaced and increased in size (from the southern driveway of Parking Lot A to the new building) to accommodate fire hydrant coverage for the new building and increased demand associated with referee spaces and permanent restrooms. A new backflow preventer will be required. A new sanitary sewer lift station with associated force main will be required to service the new building. The force main should connect to the existing gravity sewer at the southern driveway to Parking Lot A (near the stadium).



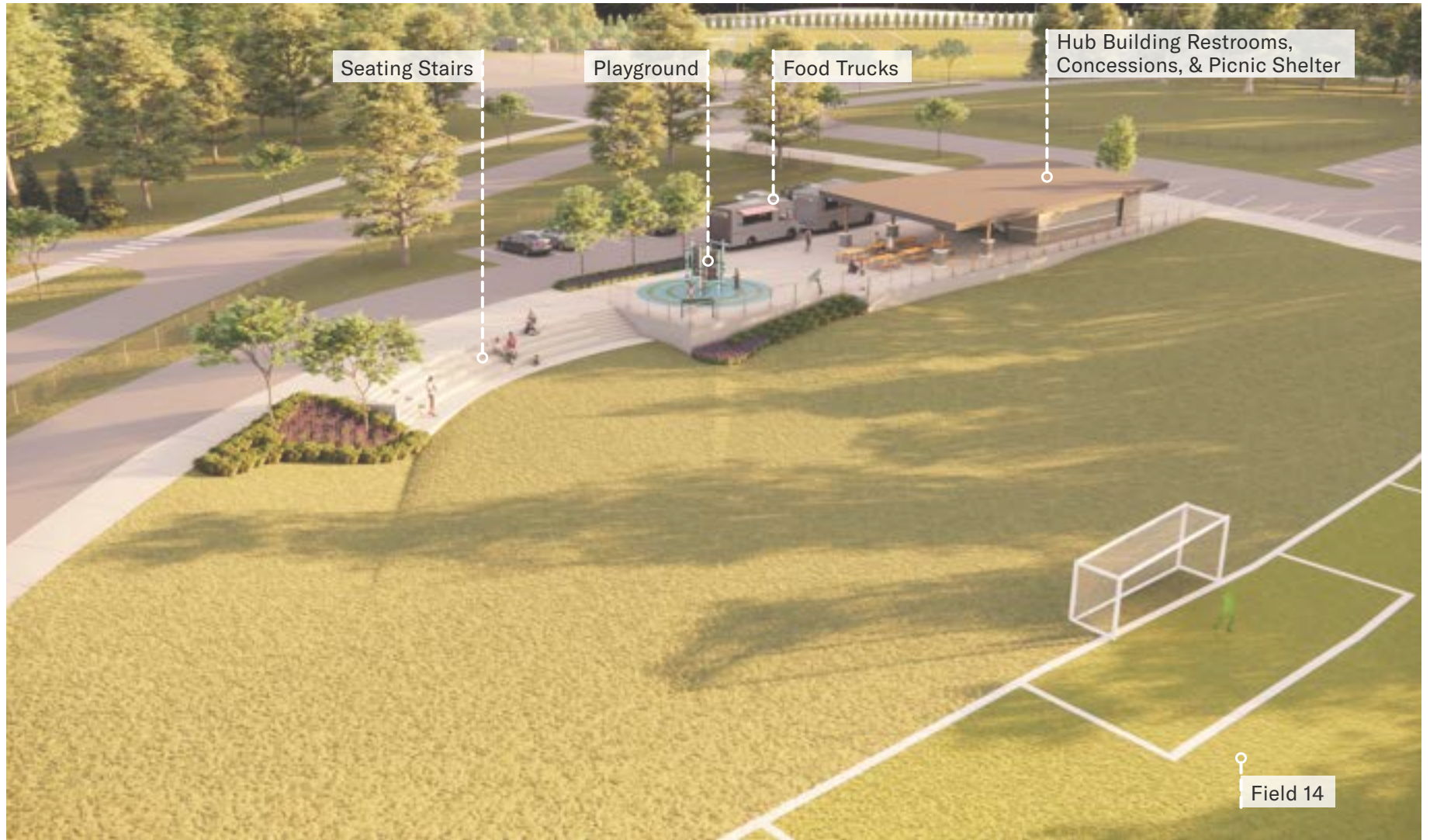


Figure 35 - View of future hub building with restrooms, concessions, gathering areas, and picnic shelter at Fields 14, 15, and 16.





Figure 36 - Plan view of Activity Hub 2.



Figure 37 - View of play area, picnic, and viewing terrace at Activity Hub 2..

Activity Hub 2

Activity Hub 2 is adjacent to field 14. The hub building features concessions, restrooms, storage, an extended covered picnic shelter, and a medical kiosk. The Hub is located along a new drive that provides paved accessible parking, food truck access, and improved connectivity to the Maintenance and Park building.

Landscape amenities at Activity Hub 2 include picnic seating, a netted climbing play structure over poured-in-place protective play surfacing, freestanding sensory musical play equipment, plantings, food truck hook-ups, and an amphitheater style gathering area built into the grade. This seating area serves as a perfect gathering place for families and teams, or for visitors to observe a game on Field 14 while keeping an eye on a sibling at the playground structure. Water and sewer are available in Southshore Rd., so connections to the new building appear feasible. A new backflow preventer and meter will be required.





Figure 38 - Perspective of Activity Hub 3.



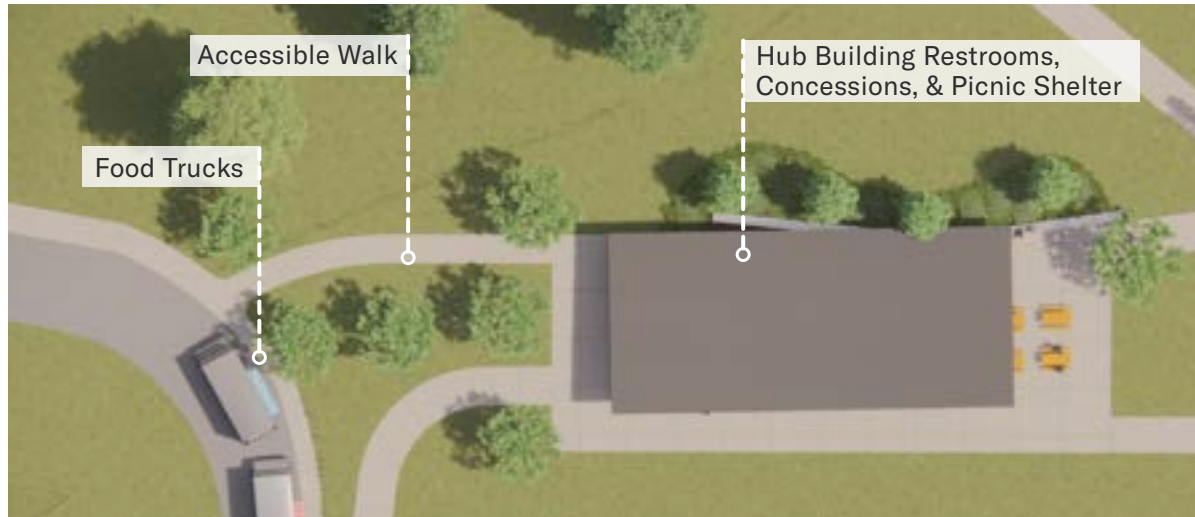


Figure 39 - Plan view of Activity Hub 3.



Figure 40 - Perspective of picnic area connected to Activity Hub 3.

Activity Hub 3

Activity Hub 3 will feature concessions, restrooms, storage, and a medical kiosk.

Landscape amenities at Activity Hub 3 include an open-air pavilion with picnic seating, plantings, and designated food truck parking proximate in Parking Lot D.

It appears that the portion of the site is not currently served by water or sewer, but water and sewer are available in Southshore Rd. The waterline should be extended from Southshore Rd. to the new building. A new backflow preventer and meter will be required. A new sanitary sewer lift station with associated force main will be required to service the new building. The force main should connect to the existing gravity sewer in Southshore Rd.





Figure 41 - Plan view of extended trail and boardwalk connection.





Figure 42 - View of boardwalk gathering zone.

Shade Structures

In addition to shaded areas provided at the Activity Hubs, shade structures such as shade sails will be strategically placed throughout the complex to provide areas of respite for visitors.

Trail and Boardwalk Connection

An improved trail and boardwalk will be constructed to improve pedestrian connectivity across the complex. The route will begin at the eastern side of Parking Lot B and across to the eastern side of the complex at Parking Lot C. The primitive 8' wide chipped wood trail will be located and graded to help ease of travel.

In areas of steep topography and drainageways, the trail will become an 8' wide boardwalk designed to help both pedestrians, golf carts, and maintenance equipment such as mowers travel through the woods. To reduce upfront and long-term maintenance costs, the trail should be

sited along a route that minimizes the need for the boardwalk sections. Along the route and within the shaded woods will be a small decked gathering spot for families and teams to rest between games or have a picnic.





5.0 Additional Study

Additional Study

The master plan has identified several additional areas of study which are needed to supplement the plan and aid in decision making and establishment of funding and redevelopment priorities:

- Parking Study- Determine the actual provided parking, required parking per code, review of ADA parking to determine deficiencies
- Geotechnical and Environmental Investigation- Complete soil borings in high priority locations with seasonal high water table identification at potential SCM locations, complete stream and wetland identification
- Master Watershed Plan- Memorialize stream buffers, undeveloped easements, tree conservation area, non-encroachment areas, drainageway and open spaces, etc., allocate existing and maximum future BUA within each watershed tier and within existing and proposed SCM drainage areas
- Development Study- Review impacts and consider recombining three lots to a single lot, determine dedication, roadway and utility impacts required as a condition of group development
- Transportation and Property Study- Determine traffic patterns, roadway improvements and possible secondary access through property acquisition south or west of complex, consider property acquisition for additional fields and/or parking
- Pump Station Study- Determine overall capacity of the existing sanitary sewer lift station and possible improvements to increase capacity to meet all future soccer complex needs





6.0 Phasing

Phasing

Due to the extensive renovations and improvements included in the master plan, a phased approach to construction is warranted. Recognizing the impact on capital expenditures, phasing of construction will allow continued use of and access to the facility while continuing to improve the infrastructure and enhance the visitor experience within an appropriate timeframe. Proposed improvements can be designated as short-term (1-3 years), mid-term (4-10 years) and long-term (10 plus years). Prices indicated below include construction costs with bonds, profit, contingency and escalation at 1.25% per quarter, but do not include design fees, permit fees, testing, etc., which can be estimated at an additional 6-10% of construction budget.

Short-term phasing opportunities are generally field focused to leverage the funding that may be more readily available. Additionally, field improvements generally include lower design and construction fees, which

will allow for projects to happen in a shorter timeframe. Mid- and long-term phasing will be generally bond funded, larger projects with significant time allocated to design and construction. At the final stakeholder meeting, priority ranking of improvement was:

- The Field House area
- Maintenance and Park building
- Activity Hub 1 (with referee space)
- Stadium
- all other areas

Upon analysis of cost estimates for each area of improvement and recognizing that replacement of the mobile restroom facility would greatly enhance the visitor experience, priority was given to Activity Hub 1. Mid-term priority is in line with the stakeholder priorities associated with the Field House and Maintenance and Park building.

Also in keeping with stakeholder suggestions, the Stadium and other site areas are lower priority and noted as long-term improvements.

Funding

In addition to possible general funding, capital improvement program (CIP) or bond funding, the City should also pursue grants, sponsorships and donations for specific plan elements. The Greensboro Parks Foundation, local foundations, local corporations, civic groups, NC Fusion, and grants may be solicited in order to fund portions of the master plan. Partnerships should extend to other City departments, including Water Resources, GDOT, etc.

As progress towards master plan completion continues, programming may evolve, leading to new or alternative funding sources through grants, foundations and partners. Parks and Recreation staff should continue to review grant opportunities and capital funding requests to continue phased implementation of park elements.



Bryan Park Master Plan Opinion of Cost		
Short Term Improvements Assume Bid Q2 2028	Brief Description	Cost
Field 2 Improvements	Seating, Scoreboard, warmup	\$400,800
Field 3-6 Improvements	Laser grade (4-5), warmups, fence & netting	\$1,401,300
Field 7 & 8 Improvements	Warmups, fence & netting	\$87,000
Field 9 Improvements	Laser grade, lights, warmup, fence & netting	\$1,277,100
Field 12-16 Improvements	Laser grade (15), warmups, fence & netting, paths	\$674,600
Fields Subtotal		\$3,840,800
Referee Hub Building	Restroom, Concessions, Medical, Referee Spaces	\$1,529,600
Referee Hub Infrastructure	Utilities, Amenities & Parking Lot B	\$2,765,200
Stormwater Control Measures	Adjacent to Parking Lots A and D	\$769,900
Facilities Subtotal		\$5,064,700
Short Term Total		\$8,905,500
Mid Term Improvements Assume Bid Q2 2033	Brief Description	Cost
Field 7 & 8 Improvements	Replace turf, lights	\$4,368,200
Field 10 & 11 Improvements	Expansion, turf, lights, warmups, fence & netting	\$6,059,400
Fields 17-21 Improvements	Laser grade, warmups, cart paths	\$2,919,600
Fields Subtotal		\$13,347,200



Field House Building	Expansion & Renovation	\$6,682,400
Field House Infrastructure	Utilities, Amenities & Parking Lot A	\$5,907,300
Park Office & Maintenance Building	Public Offices & Maintenance	\$4,432,300
Park Office Infrastructure	Utilities, SCM & Parking Lot	\$2,364,500
Trail Connectivity	Sidewalks, Boardwalk, Bridge	\$1,313,900
Facilities Subtotal		\$20,700,400
Mid Term Total		\$34,047,600
Long Term Improvements Assume Bid Q4 2035	Brief Description	Cost
Irrigation	Replacement 15 fields	\$5,657,000
Fields Subtotal		\$5,657,000
Stadium Building		\$5,231,700
Stadium Infrastructure	Utilities	\$636,600
Hub 2 Building	Restroom, Concessions, Medical	\$945,400
Hub 2 Infrastructure	Utilities, Amenities & Parking Lot C	\$2,497,600
Hub 3 Building	Restroom, Concessions, Medical	\$945,400
Hub 3 Infrastructure	Utilities, Amenities & Parking Lot D	\$3,745,700
Facilities Subtotal		\$14,002,400
Long Term Total		\$19,659,400





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